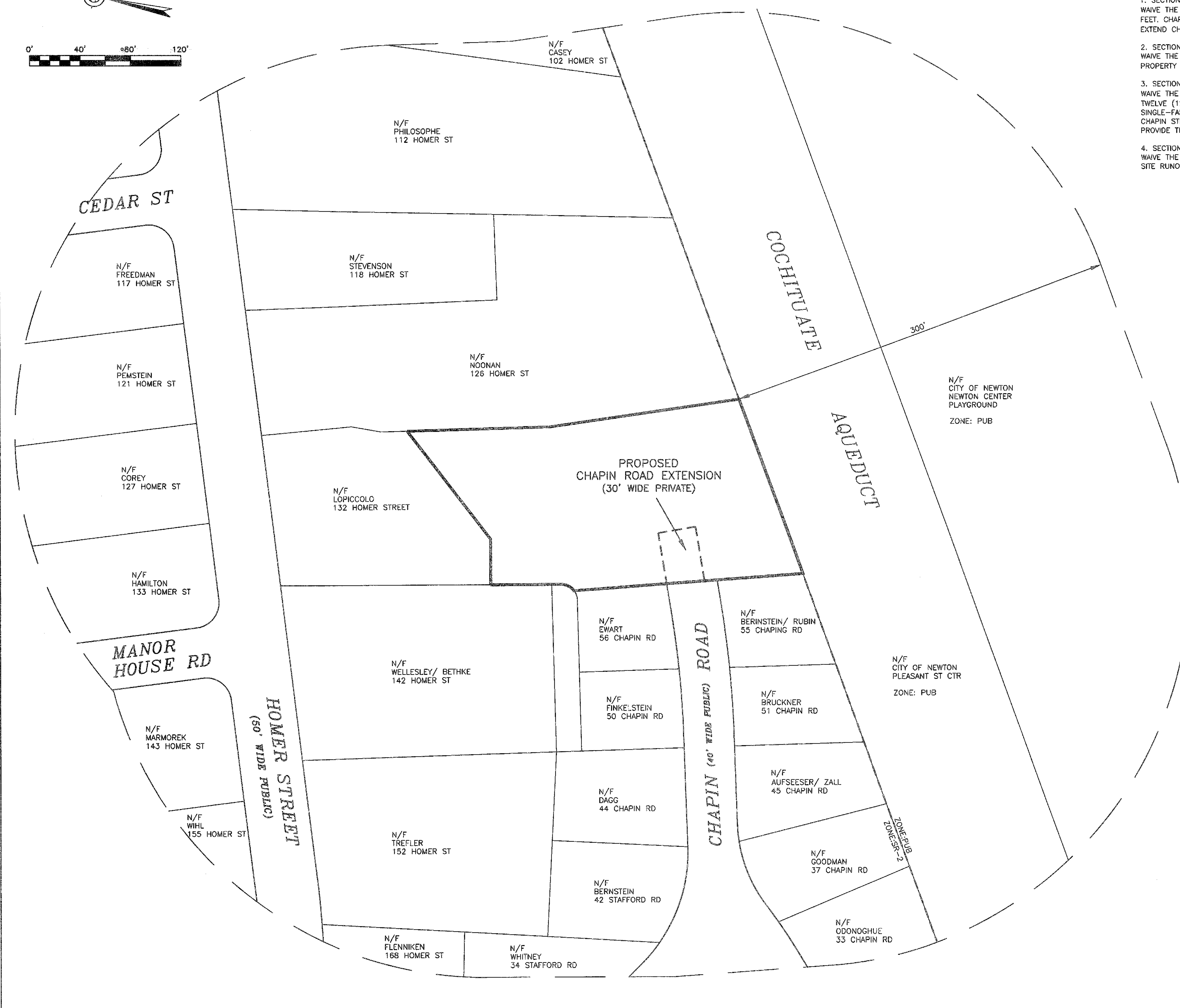
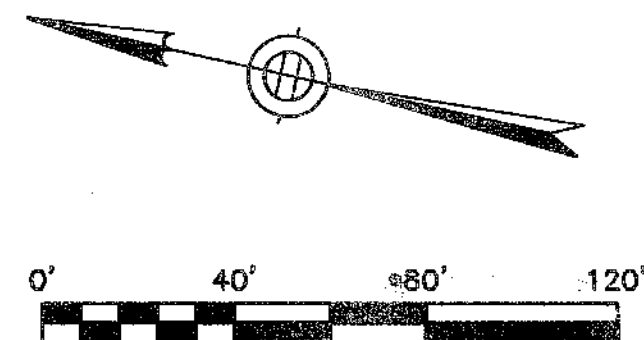


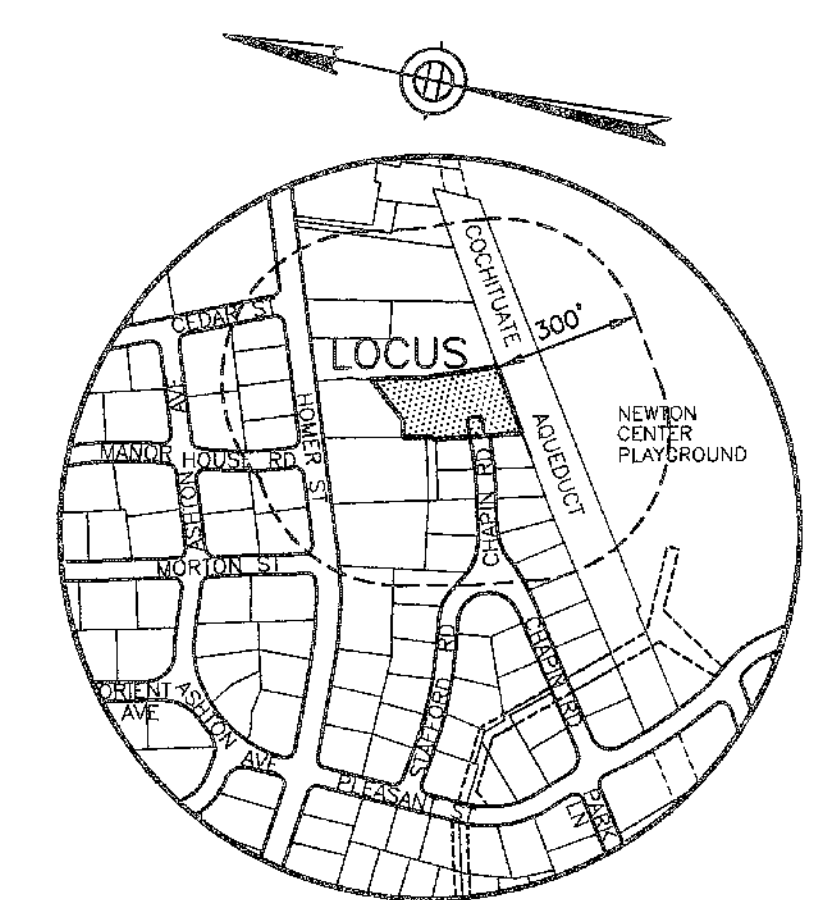


LOCUS PLAN
SCALE: 1 IN. = 40 FT.

LIST OF THE REQUESTED WAIVERS:

THE FOLLOWING IS A LIST OF THE REQUESTED WAIVERS FROM THE RULES AND REGULATIONS OF THE PLANNING BOARD ACTING AS A BOARD OF SURVEY:

1. SECTION V.B.3.A.
WAIVE THE REQUIREMENT THAT THE MINIMUM WIDTHS OF STREET RIGHTS-OF-WAY BE FORTY-FIVE (45) FEET. CHAPIN STREET IS AN EXISTING FORTY (40) FOOT RIGHT-OF-WAY AND IT IS PROPOSED TO EXTEND CHAPIN STREET AS A THIRTY (30) FOOT RIGHT-OF-WAY TO PROVIDE ACCESS TO 1 LOT.
2. SECTION V.B.5.D.
WAIVE THE REQUIREMENT THAT DEAD END STREETS HAVE A CUL-DE-SAC WITH A PROPERTY LINE DIAMETER OF NINETY-FIVE (95) FEET.
3. SECTION V.I.A.1.
WAIVE THE MINIMUM PAVEMENT WIDTH REQUIREMENT FROM TWENTY-FOUR (24) TO TWELVE (12) FEET. A PAVEMENT WIDTH OF 12 FEET WILL PROVIDE ADEQUATE ACCESS FOR ONE SINGLE-FAMILY DWELLING WHOSE DRIVEWAY WILL BE APPROXIMATELY 10 FEET FROM THE END OF CHAPIN STREET. THIS WILL REDUCE IMPERVIOUS AREA AND SITE RUNOFF. IT IS PROPOSED TO PROVIDE THE DWELLINGS WITH RESIDENTIAL SPRINKLER SYSTEMS.
4. SECTION V.I.C.
WAIVE THE REQUIREMENT FOR FULL SIDEWALK CONSTRUCTION TO REDUCE IMPERVIOUS AREA AND SITE RUNOFF.



LOCUS
SCALE: 1 IN. = 400 FT.

TABLE OF CONTENTS:

- SHEET 1
LOCUS PLAN
- SHEET 2
EXISTING CONDITIONS PLAN
PROPOSED LAYOUT PLAN
- SHEET 3
PROPOSED SITE PLAN
CHAPIN ROAD EXTENSION PROFILE
- SHEET 4
STANDARD DETAILS

SUBDIVISION APPROVED SUBJECT TO CONDITIONS CONTAINED IN THE COVENANT AND THE DECISION DOCUMENT, BOTH RECORDED HERewith.

NEWTON PLANNING BOARD,

CHAIRMAN DATE

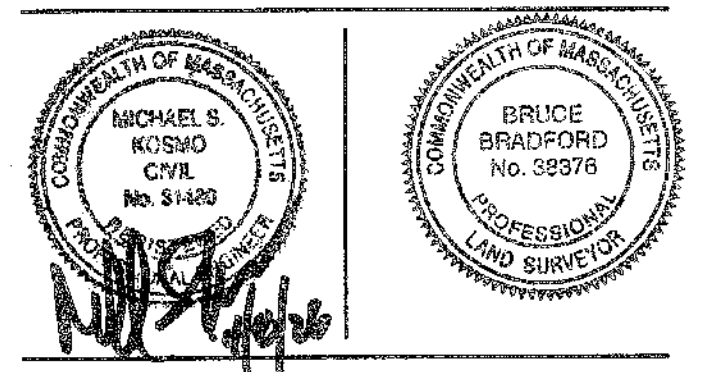
I HEREBY CERTIFY THAT NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF NOTICE FROM THE PLANNING BOARD OF THE APPROVAL OF THE WITHIN PLAN.

DATE

TOWN CLERK

I HEREBY CERTIFY THAT THE PREPARATION OF THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

Bruce Bradford 4/8/26
PROFESSIONAL LAND SURVEYOR DATE



CHAPIN ROAD EXTENSION

DEFINITIVE SUBDIVISION PLAN
NEWTON, MA

LOCUS PLAN

OWNER/ APPLICANT:
CHAPIN ROAD EXTENSION, LLC
19 FAIRMONT AVENUE
NEWTON, MA 02458

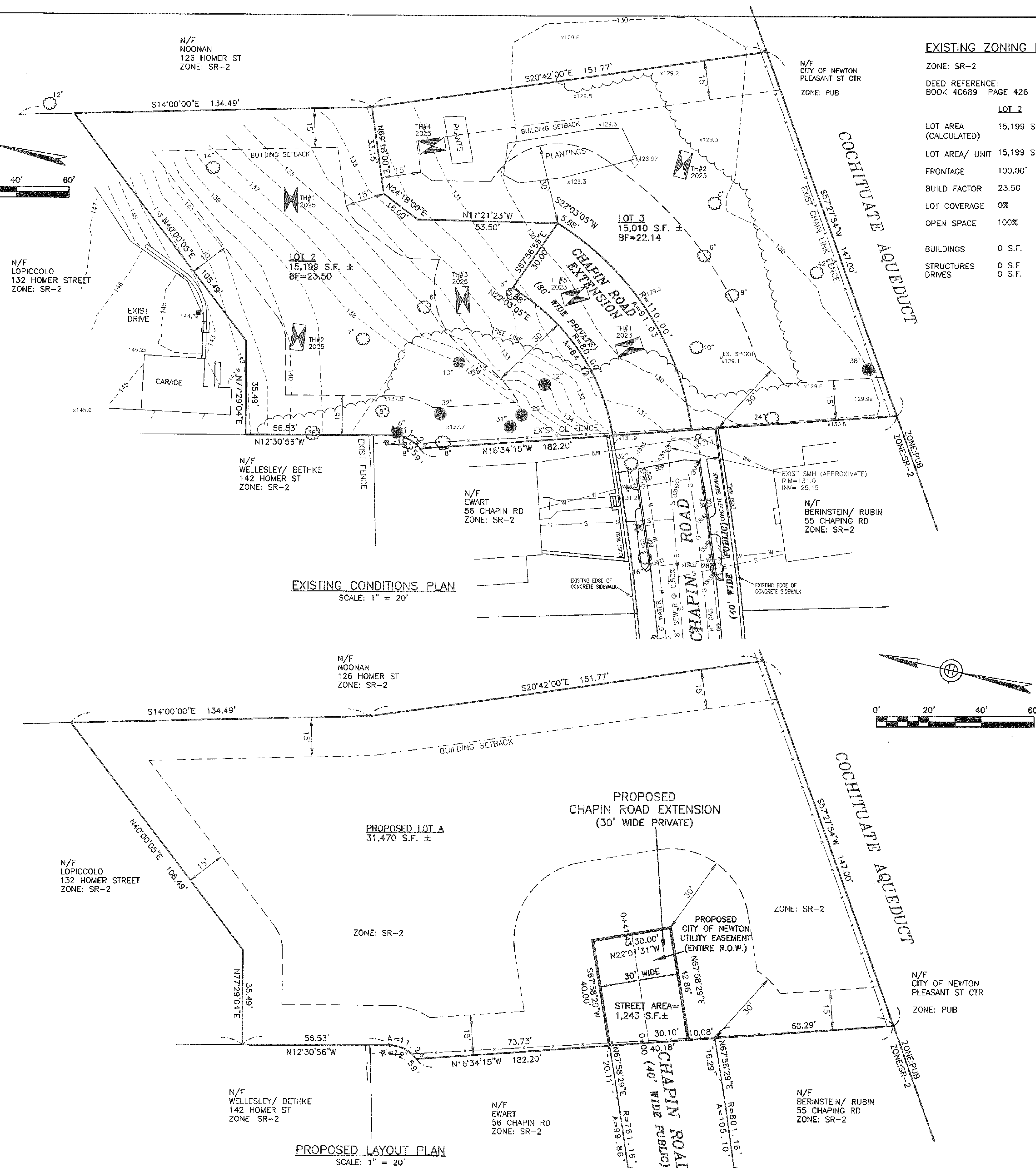
SCALE: AS NOTED DATE: APRIL 8, 2026

PREPARED BY:
EVERETT M. BROOKS COMPANY
49 LEXINGTON STREET
WEST NEWTON, MA 02465
(617) 527-8750

PROJECT NO. 26974

	UTILITY POLE		DEEP TEST HOLE
	WATER GATE	71.4 X	SPOT ELEVATION
	HYDRANT		PROPOSED CONTOUR
	GAS GATE	--- 71 ---	EXISTING CONTOUR
	SEWER MANHOLE	— D —	DRAIN LINE
	DRAIN MANHOLE	— RD —	ROOF DRAIN
	CATCH BASIN	— FD —	FOUNDATION DRAIN
	TREE	— W —	WATER LINE
	TREE	— S —	SEWER LINE
	LIGHT POLE	— G —	GAS LINE
	SIGN	— OHW —	OVERHEAD WIRES
TBR	TO BE REMOVED	— X —	FENCE
TBA	TO BE ABANDONED		TREE LINE
EOG	EDGE OF PAVEMENT		
GVC	GRANITE VERTICAL CURB		

1. ELEVATIONS REFER TO CITY OF NEWTON BASE. BENCHMARK: MAGNETIC PK NAIL SET IN UTILITY POLE IN FRONT OF 132 HOMER STREET, ELEVATION=151.20.
2. THE LOCATION AND ELEVATIONS OF ALL EXISTING UTILITIES SHALL BE CONSIDERED APPROXIMATE AND MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ANY CROSSINGS OF PROPOSED AND EXISTING UTILITIES.
3. MASSACHUSETTS STATE LAW REQUIRES UTILITY NOTIFICATION AT LEAST THREE BUSINESS DAYS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CALL DIG-SAFE AT 811 OR 1-888-DIG-SAFE (1-888-344-7233) IN ORDER TO COMPLY WITH STATE LAW.
4. THE CONTRACTOR MUST PROVIDE POLICE DETAILS, SCHEDULED 48 HOURS IN ADVANCE, FOR THE DIRECTION AND CONTROL OF TRAFFIC, AS REQUIRED BY THE CITY ENGINEER. ALL ROADS AFFECTED BY CONSTRUCTION SHALL ALWAYS REMAIN OPEN TO EMERGENCY VEHICLES. CONTRACTOR IS TO COORDINATE WITH POLICE AND FIRE DEPARTMENT TO ENSURE PUBLIC SAFETY.
5. ALL WORK MUST BE DONE IN ACCORDANCE WITH "CITY OF NEWTON STANDARD SPECIFICATIONS" AND "CITY OF NEWTON CONSTRUCTION DETAILS", COPIES OF WHICH MAY BE OBTAINED AT THE ENGINEERING OFFICE. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE CITY OF NEWTON ENGINEERING DEPARTMENT.
6. NO EXCAVATION IS ALLOWED WITHIN ANY CITY RIGHT-OF-WAY BETWEEN NOVEMBER 15TH AND APRIL 15TH. IF AN EMERGENCY EXISTS OR THERE ARE EXTENUATING CIRCUMSTANCES, APPLICANT MAY SEEK PERMISSION FOR SUCH WORK FROM THE CITY DPW COMMISSIONER VIA THE CITY ENGINEER. IF PERMISSION IS GRANTED, SPECIAL CONSTRUCTION STANDARDS WILL BE APPLIED. APPLICANT OR APPLICANT'S REPRESENTATIVE MUST CONTACT THE CITY OF NEWTON ENGINEERING DEPARTMENT PRIOR TO START OF WORK FOR CLARIFICATION.
7. ALL CONSTRUCTION ACTIVITIES WITHIN THE CITY OF NEWTON RIGHT-OF-WAY MUST FULLY COMPLY WITH ALL CITY OF NEWTON CONSTRUCTION SPECIFICATIONS AS WELL AS 521 CMR 21.00 AND 22.00.
8. ALL WORK SHALL BE SUBJECT TO THE INSPECTION BY AND APPROVAL OF THE CITY ENGINEER.
9. NO EXCAVATION SHALL BE MADE BY THE CONTRACTOR IN ANY PUBLIC WAY OR UTILITY EASEMENT UNLESS AT LEAST FORTY-EIGHT (48) HOURS, EXCLUSIVE OF SATURDAYS, SUNDAYS AND HOLIDAYS, BEFORE THE PROPOSED EXCAVATION IS TO BE MADE, HE HAS SUBMITTED, BY REGISTERED MAIL, WRITTEN NOTICE OF THE PROPOSED EXCAVATION TO THE FOLLOWING:
 - A. SUCH PUBLIC UTILITY COMPANIES AS SUPPLY GAS, ELECTRICITY AND TELEPHONE SERVICE IN THE CITY.
 - B. SUCH PRIVATE COMPANIES AS PROVIDE CABLE TELEVISION SERVICE IN THE CITY.
 - C. CITY OF NEWTON WATER & SEWER DEPARTMENTSUCH NOTICE SHALL SET FORTH THE STREET NAME AND A REASONABLY ACCURATE DESCRIPTION OF THE LOCATION OF THE EXCAVATION.
10. NO WORK SHALL BE PERFORMED UNTIL THE NECESSARY PERMITS ARE OBTAINED FROM THE CITY OF NEWTON PUBLIC WORKS DEPARTMENT.
11. ALL TRENCHES IN PAVED STREETS SHALL BE TEMPORARILY PATCHED WITH 1.5 INCH DEPTH OF BITUMINOUS CONCRETE, LAID HOT AND MAINTAINED UNTIL THE PERMANENT PATCH IS INSTALLED.
12. WARNING SIGNS SHALL CONFORM TO PAGE 12 OF THE CITY OF NEWTON GENERAL CONSTRUCTION DETAILS.
13. THE APPLICANT WILL HAVE TO APPLY FOR STREET OPENING, UTILITY CONNECTION, AND AN INSTALL CURB & SIDEWALK PERMITS WITH THE DPW PRIOR TO START OF WORK.
14. AS OF JANUARY 1, 2009, ALL TRENCH EXCAVATION CONTRACTORS SHALL COMPLY WITH MASSACHUSETTS GENERAL LAWS CHAPTER 82A, TRENCH EXCAVATION SAFETY REQUIREMENTS, TO PROTECT THE GENERAL PUBLIC FROM UNAUTHORIZED ACCESS TO UNATTENDED TRENCHES. TRENCH EXCAVATION PERMIT REQUIRED. THIS APPLIES TO ALL TRENCHES ON PUBLIC AND PRIVATE PROPERTY.
15. IN CASES WHERE LEDGE OR BOULDERS ARE ENCOUNTERED, EVERETT M. BROOKS CO. INC. WILL NOT BE RESPONSIBLE FOR THE AMOUNT OF ROCK ENCOUNTERED.
16. AFTER ALL ENGINEERING PERMITS ARE OBTAINED, THE CONTRACTOR NEEDS TO NOTIFY THE ENGINEERING DIVISION CONSTRUCTION INSPECTOR A MINIMUM OF 48-HOURS IN ADVANCE AND SCHEDULE AN APPOINTMENT TO HAVE SITE UTILITIES AND STORMWATER COMPONENTS INSPECTED. THE SYSTEM & UTILITIES MUST BE FULLY EXPOSED FOR THE INSPECTOR. ONCE THE INSPECTOR IS SATISFIED, THE SYSTEM & UTILITIES MAY BE BACKFILLED.
17. APPROVAL OF THIS PLAN BY THE CITY OF NEWTON ENGINEERING DIVISION IMPLIES THAT THE PLAN MEETS THE MINIMAL DESIGN STANDARDS OF THE CITY OF NEWTON. HOWEVER, THE ENGINEERING DIVISION MAKES NO REPRESENTATIONS AND ASSUMES NO RESPONSIBILITY FOR THE DESIGN(S) IN TERMS OF SUITABILITY FOR THE PARTICULAR SITE CONDITIONS OR OF THE FUNCTIONALITY OR PERFORMANCE OF ANY ITEMS CONSTRUCTED IN ACCORDANCE WITH THE DESIGN(S). THE CITY OF NEWTON ASSUMES NO LIABILITIES FOR DESIGN ASSUMPTIONS, ERRORS OR OMISSIONS BY THE ENGINEER OF RECORD.
18. THIS PLAN IS THE RESULT OF AN INSTRUMENT SURVEY DONE ON THE GROUND
19. ALL PROPOSED WALLS BY OTHERS.
20. CONSTRUCTION FENCING AND SILT FENCING SHALL BE PLACED AROUND THE ENTIRE SITE, AS REQUIRED.
21. ALL WATER WORK MUST BE PERFORMED IN CONJUNCTION WITH THE CITY OF NEWTON UTILITIES DIVISION DPW.
22. ALL TREE REMOVAL SHALL COMPLY WITH THE CITY OF NEWTON TREE ORDINANCE.
23. IF ANY CHANGES FROM THE ORIGINAL APPROVED DESIGN PLAN ARE REQUIRED DUE TO UNFORESEEN SITE CONDITIONS, THE ENGINEER OF RECORD SHALL SUBMIT A REVISED DESIGN THAT IS STAMPED AND SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO CONTINUING CONSTRUCTION.



ZONE: SR-2			
DEED REFERENCE: BOOK 40689 PAGE 426			
	<u>LOT 2</u>	<u>LOT 3</u>	<u>BY LAW</u>
LOT AREA (CALCULATED)	15,199 S.F.±	15,010 S.F.±	15,000 S.F. MIN.
LOT AREA/ UNIT	15,199 S.F.±	15,010 S.F.±	15,000 S.F. MIN/UNIT
FRONTAGE	100.00'	106.99'	100' MIN.
BUILD FACTOR	23.50	22.14	25 MAX.
LOT COVERAGE	0%	0%	20% MAX.
OPEN SPACE	100%	100%	65% MIN.
BUILDINGS	0 S.F.	0 S.F.	0 S.F.
STRUCTURES	0 S.F.	0 S.F.	0 S.F.
DRIVES	0 S.F.	0 S.F.	0 S.F.

SUBDIVISION APPROVED SUBJECT TO CONDITIONS
CONTAINED IN THE COVENANT AND THE DECISION
DOCUMENT, BOTH RECORDED HERewith."

NEWTON PLANNING BOARD.

CHAIRMAN _____ DATE _____

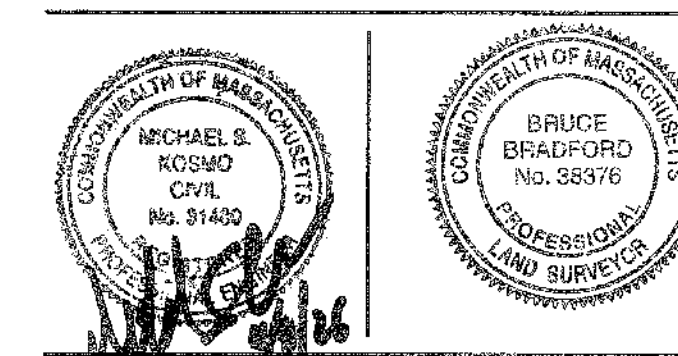
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AFTER RECEIPT AND RECORDING OF NOTICE FROM
THE PLANNING BOARD OF THE APPROVAL OF THE
WITHIN PLAN.

DATE _____

TOWN CLERK

I HEREBY CERTIFY THAT THE PREPARATION OF THIS
PLAN CONFORMS TO THE RULES AND REGULATIONS
OF THE REGISTERS OF DEEDS.

Bruce Burford 4/8/26
PROFESSIONAL LAND SURVEYOR DATE



CHAPIN ROAD EXTENSION

DEFINITIVE SUBDIVISION PLAN
NEWTON, MA

EXISTING CONDITIONS PLAN &
PROPOSED LAYOUT PLAN

OWNER/ APPLICANT:
CHAPIN ROAD EXTENSION, LLC
19 FAIRMONT AVENUE
NEWTON, MA 02458

SCALE: AS NOTED DATE: APRIL 8, 2026

PREPARED BY:
EVERETT M. BROOKS COMPANY
49 LEXINGTON STREET
WEST NEWTON, MA 02465
(617) 527-8750

PROJECT NO. 26974

- LEGEND**
- UTILITY POLE
 - WATER GATE
 - HYDRANT
 - GAS GATE
 - SEWER MANHOLE
 - DRAIN MANHOLE
 - CATCH BASIN
 - TREE
 - LIGHT POLE
 - SIGN
 - TBR TO BE REMOVED
 - TBA TO BE ABANDONED
 - EOP EDGE OF PAVEMENT
 - GVC GRANITE VERICAL CURB
 - DEEP TEST HOLE
 - SPOT ELEVATION
 - PROPOSED CONTOUR
 - EXISTING CONTOUR
 - DRAIN LINE
 - ROOF DRAIN
 - FOUNDATION DRAIN
 - WATER LINE
 - SEWER LINE
 - GAS LINE
 - OVERHEAD WIRES
 - FENCE
 - TREE LINE

SOIL LOG DATE 3/22/23

TEST HOLE #1 (TH#1)
SURFACE ELEVATION=129.9

DEPTH	SOIL TYPE	ELEVATION
0-11" AP	10YR2/1 SANDY LOAM	128.96
11-22" BW	10YR6/6 SANDY LOAM	128.07
22-60" C	10YR6/3 MEDIUM SAND	124.90 (BOTTOM OF HOLE)

REDOX AT 22" 7.5YR5/8, ELEVATION=128.07
GROUNDWATER AT 22", ELEVATION=128.07

TEST HOLE #2 (TH#2)
SURFACE ELEVATION=129.5

DEPTH	SOIL TYPE	ELEVATION
0-12" AP	10YR2/1 SANDY LOAM	128.50
12-32" BW	10YR4/3 MEDIUM SAND	126.83
32-92" C	10YR6/1 MEDIUM SAND, REDOX 7.5YR5/8	121.83 (BOTTOM OF HOLE)

GROUNDWATER AT 32", ELEVATION=126.83
WEeping AT 88", ELEVATION=122.17

TEST HOLE #3 (TH#3)
SURFACE ELEVATION=130.1

DEPTH	SOIL TYPE	ELEVATION
0-10" AP	10YR2/1 SANDY LOAM	129.27
10-16" BW	10YR4/3 MEDIUM SAND	128.77
16-60" C	10YR6/1 MEDIUM SAND, REDOX 7.5YR5/8	125.10 (BOTTOM OF HOLE)

GROUNDWATER AT 24", ELEVATION=128.10

SOIL EVALUATOR:
MARK R. ARNOLD, WETLAND ENGINEER
CPESC, LICENSED SOIL EVALUATOR #14414

SOIL LOG DATE 6/13/25

TEST HOLE #1 (TH#1-2025)
SURFACE ELEVATION=136.2

DEPTH	SOIL TYPE	ELEVATION
0-15" A	10YR3/3 SANDY LOAM	134.95
15-31" BW	7.5YR4/6 LOAMY SAND	133.62
31-53" BC	10YR5/6 LOAMY SAND	131.78
53-76" C	2.5Y7/2 SAND	129.87 (BOTTOM OF HOLE)

ESHGW AT 53", REDOX 5YR5/8, ELEVATION=131.78

TEST HOLE #2 (TH#2-2025)
SURFACE ELEVATION=139.7

DEPTH	SOIL TYPE	ELEVATION
0-12" A	10YR3/3 SANDY LOAM	138.70
12-44" BC	10YR5/6 SAND	136.03
44-48" C1	10YR6/2 FINE SAND	135.70
48-90" C2	10YR6/3 MEDIUM SAND (STRATIFIED SAND)	132.20
90-112" C3	10YR6/2 FINE SAND TO VERY FINE SAND	130.37 (BOTTOM OF HOLE)

ESHGW AT 90", REDOX 5YR5/8, ELEVATION=132.20
NOTE: SOME IRON MOVEMENT NOTED ABOVE TEXTURE CHANGES IN LAYERS.

TEST HOLE #3 (TH#3-2025)
SURFACE ELEVATION=133.5

DEPTH	SOIL TYPE	ELEVATION
0-18" A	10YR3/3 SANDY LOAM	133.50
18-34" BW	7.5YR4/6 LOAMY SAND	131.78
34-50" BC	10YR5/6 LOAMY SAND	130.37
50-55" C1	10YR6/3 MEDIUM SAND	129.87
55-70" C2	10YR7/2 FINE SAND	128.92

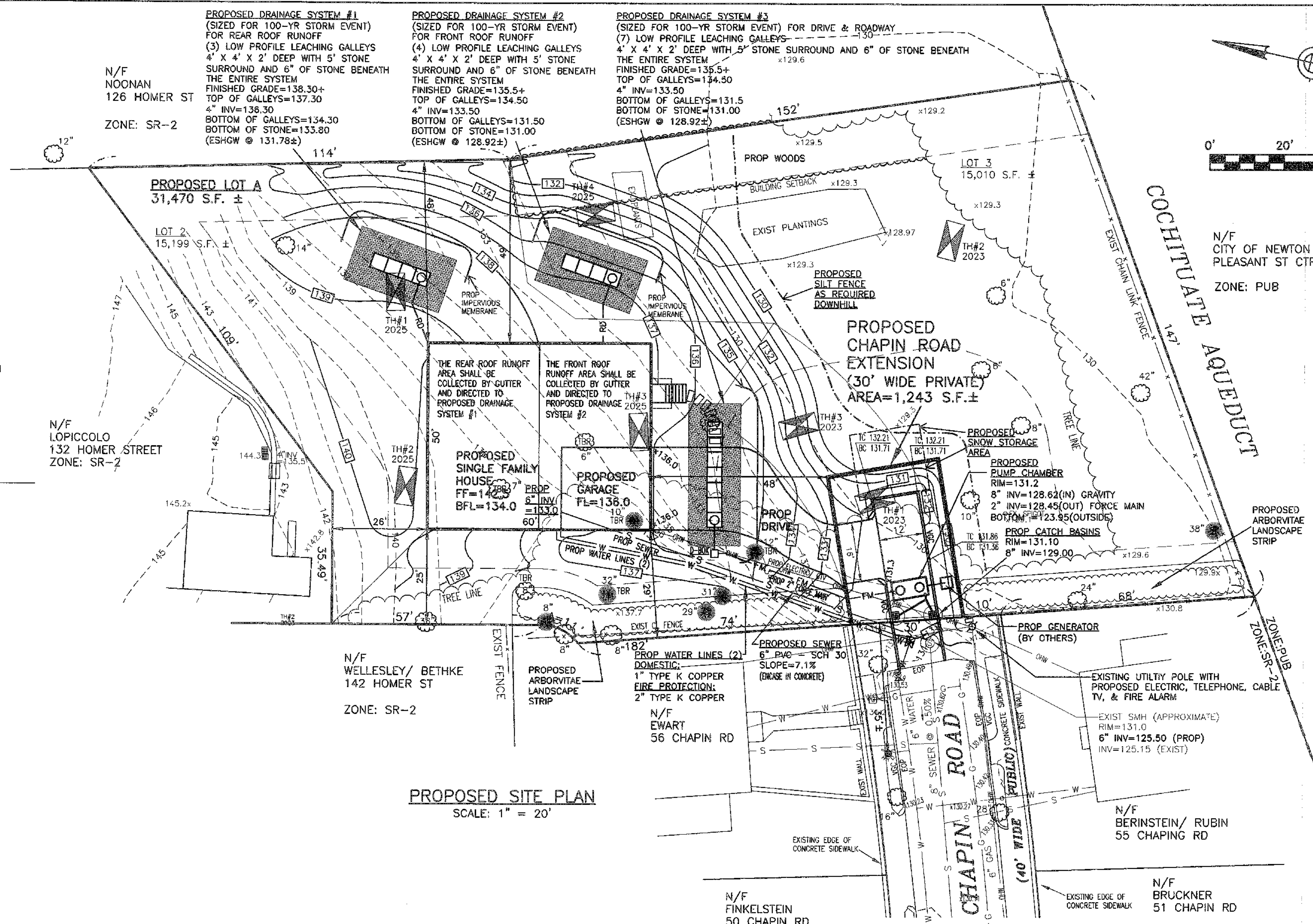
ESHGW AT 55", REDOX 7.5YR5/8, ELEVATION=128.92

TEST HOLE #4 (TH#4-2025)
SURFACE ELEVATION=131.0

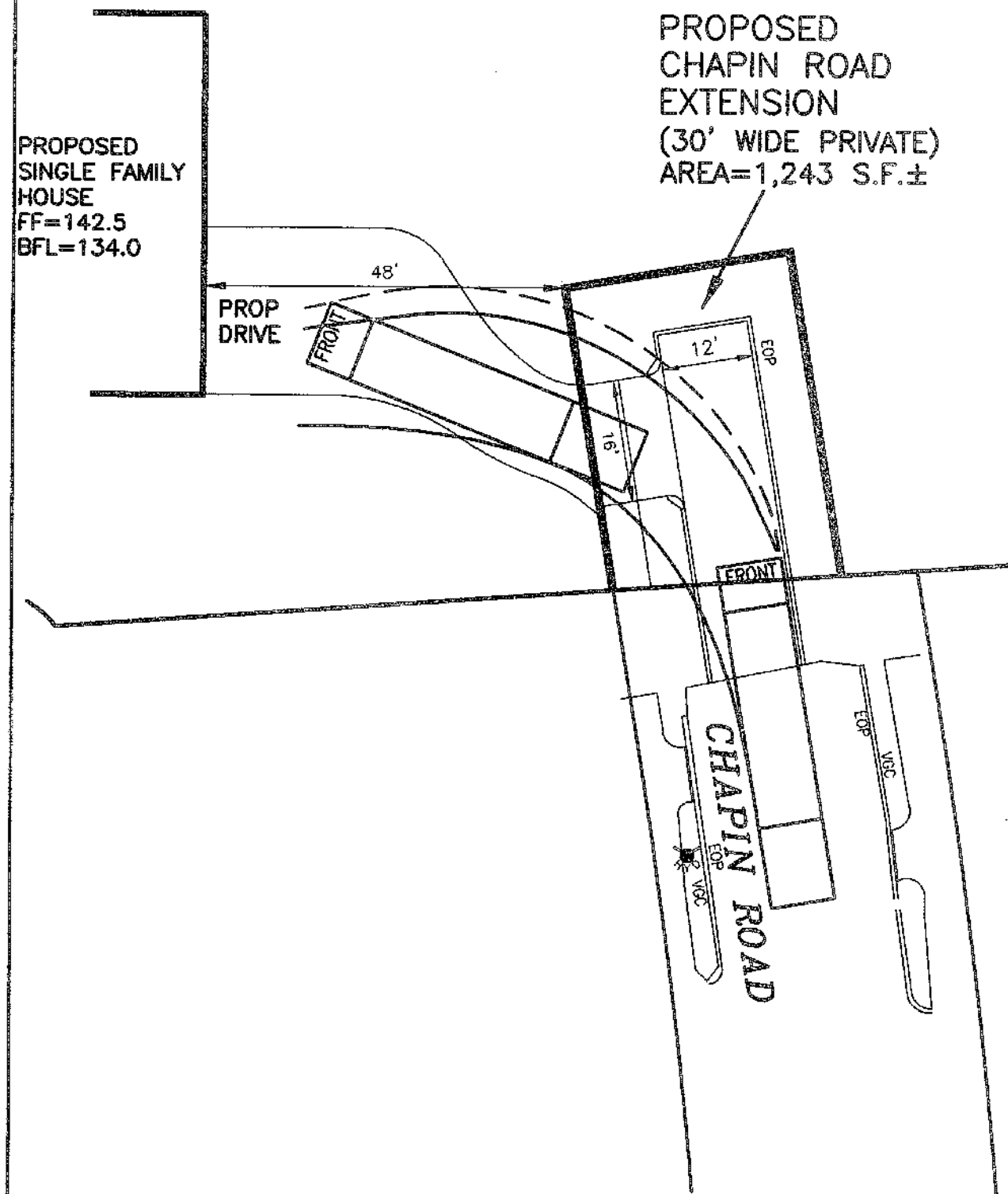
DEPTH	SOIL TYPE	ELEVATION
0-16" A	10YR3/3 SANDY LOAM	131.00
16-27" BW	7.5YR4/5 LOAMY SAND	129.87
27-55" C1	10YR7/1 MEDIUM SAND	127.50

ESHGW AT 42", REDOX 5YR5/8, ELEVATION=127.50

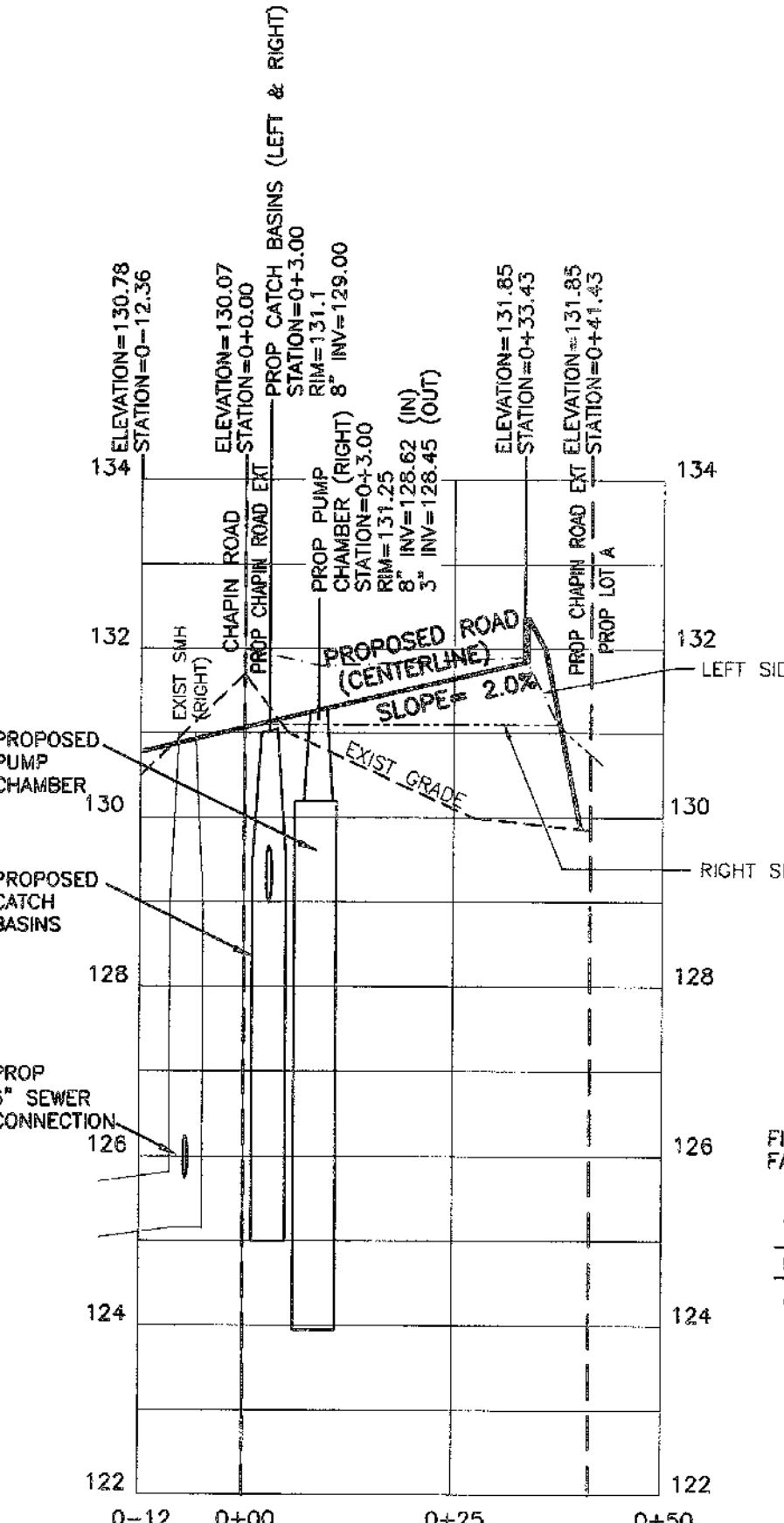
SOIL EVALUATOR:
MARK R. ARNOLD, WETLAND ENGINEER
CPESC, LICENSED SOIL EVALUATOR #14414



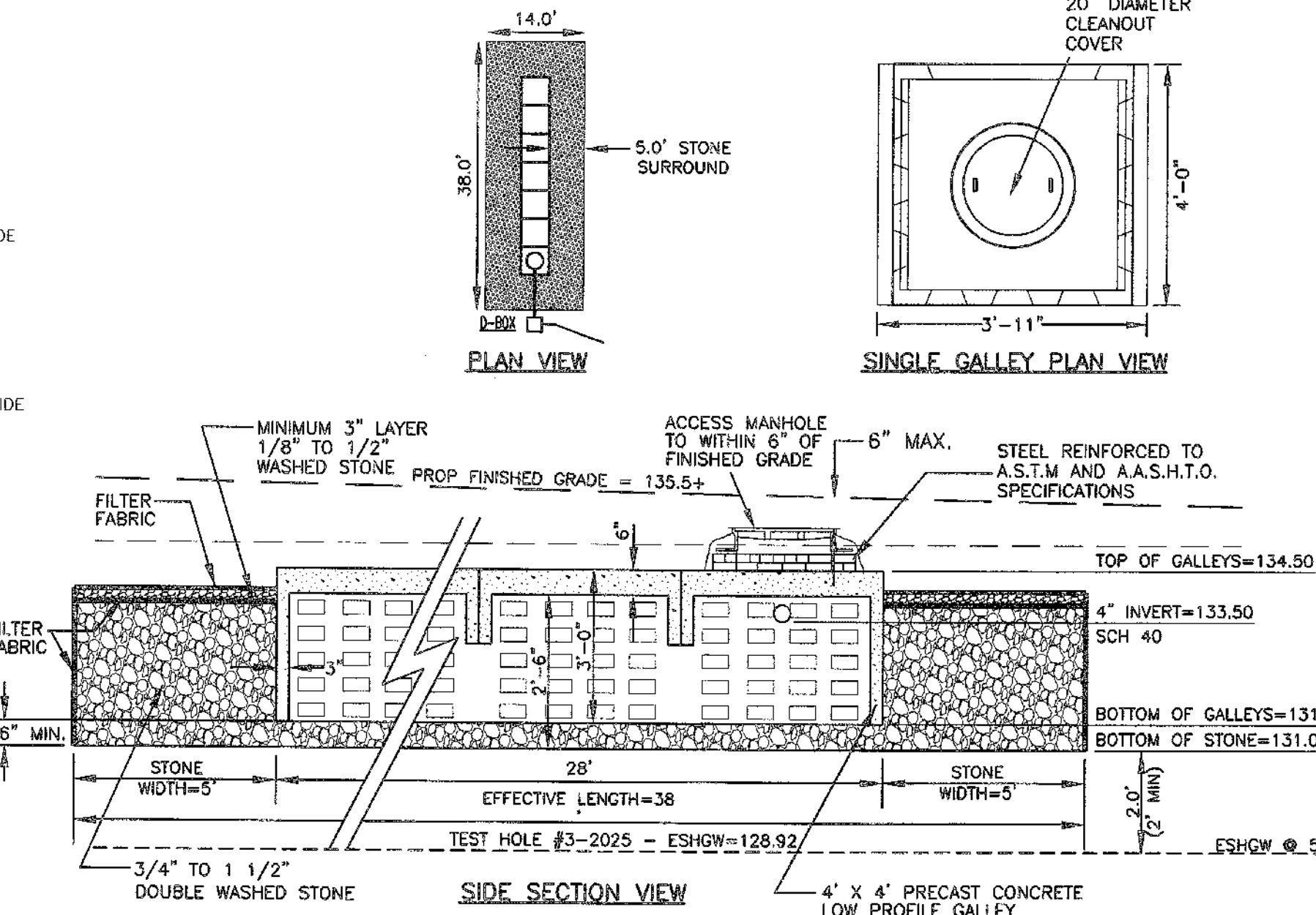
PROPOSED SITE PLAN
SCALE: 1" = 20'



BUS-45 TURNING DETAIL
SCALE: 1" = 20'



PROFILE OF CHAPIN ROAD EXTENSION



LOW PROFILE LEACHING GALLEY DETAIL #3
N.T.S.

PROPOSED ZONING INFORMATION

ZONE: SR-2 (NEW LOT)		
DEED REFERENCE: BOOK 40689		PAGE 426
<u>PROPOSED LOT A</u>	<u>PROPOSED</u>	<u>BY-LAW</u>
LOT AREA	31,470 S.F.±	15,000 S.F. MIN.
LOT AREA PER UNIT	31,470 S.F.±	15,000 S.F./ UNIT MIN.
FRONTAGE	122.94'	100' MIN.
BUILD FACTOR		25 MAX.
LOT COVERAGE	9.5%	20% MAX.
OPEN SPACE	87%	65% MIN.
BUILDINGS	3,000 S.F.	
STRUCTURES	3,000 S.F.	
DRIVES	1,020 S.F.±	
	4,020 S.F.±	

IMPERVIOUS AREAS

	EXISTING	PROPOSED
BUILDINGS	0 S.F.	3,000 S.F.
DRIVEWAY	0 S.F.	1,020 S.F.
ROADWAY	0 S.F.	615 S.F.
	0 S.F.	4,635 S.F.

IMPERVIOUS INCREASE = 4,635 S.F.

PHOSPHOROUS LOAD TABLE

EXISTING LOAD = 0 LBS/ YEAR

PROPOSED LOAD = 0.209 LBS/ YEAR

BMP LOAD (REDUCTION) = 0.320 LBS/ YEAR
(INFLOW TO PROPOSED DRAINAGE SYSTEM=0.163 AC)

0.320 / 0.209 = 1.531

PHOSPHOROUS REDUCTION = 153.1%

SUBDIVISION APPROVED SUBJECT TO CONDITIONS CONTAINED IN THE COVENANT AND THE DECISION DOCUMENT, BOTH RECORDED HEREWITH.

NEWTON PLANNING BOARD.

CHAIRMAN DATE

TOWN CLERK

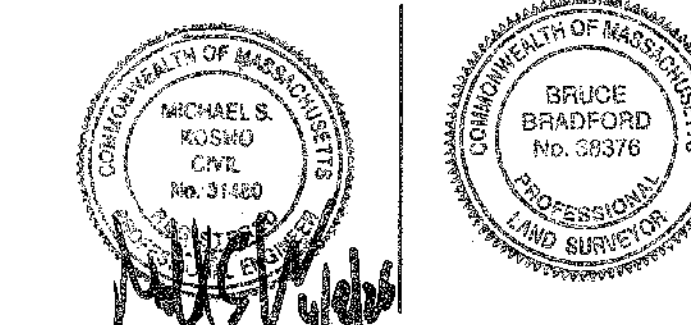
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DATE

TOWN CLERK

I HEREBY CERTIFY THAT THE PREPARATION OF THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

Professional Land Surveyor 4/8/26
PROFESSIONAL LAND SURVEYOR DATE



CHAPIN ROAD EXTENSION

DEFINITIVE SUBDIVISION PLAN
NEWTON, MA

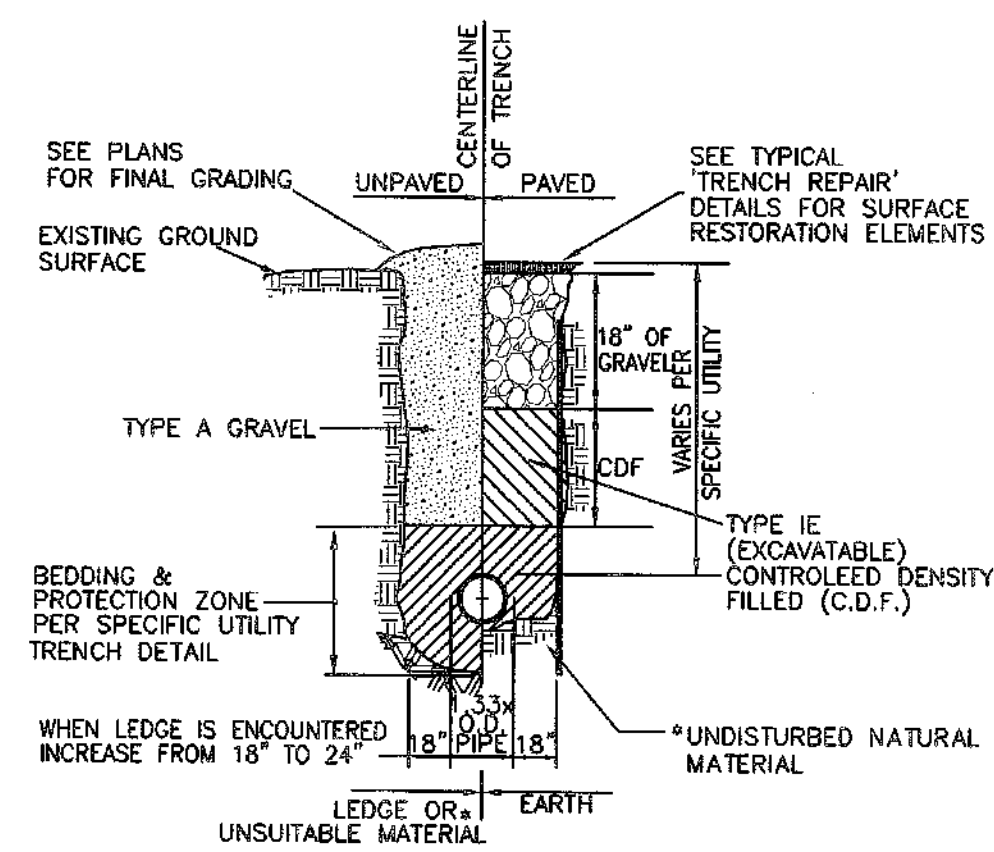
PROPOSED SITE PLAN

OWNER/ APPLICANT:
CHAPIN ROAD EXTENSION, LLC
19 FAIRMONT AVENUE
NEWTON, MA 02458

SCALE: AS NOTED DATE: APRIL 8, 2026

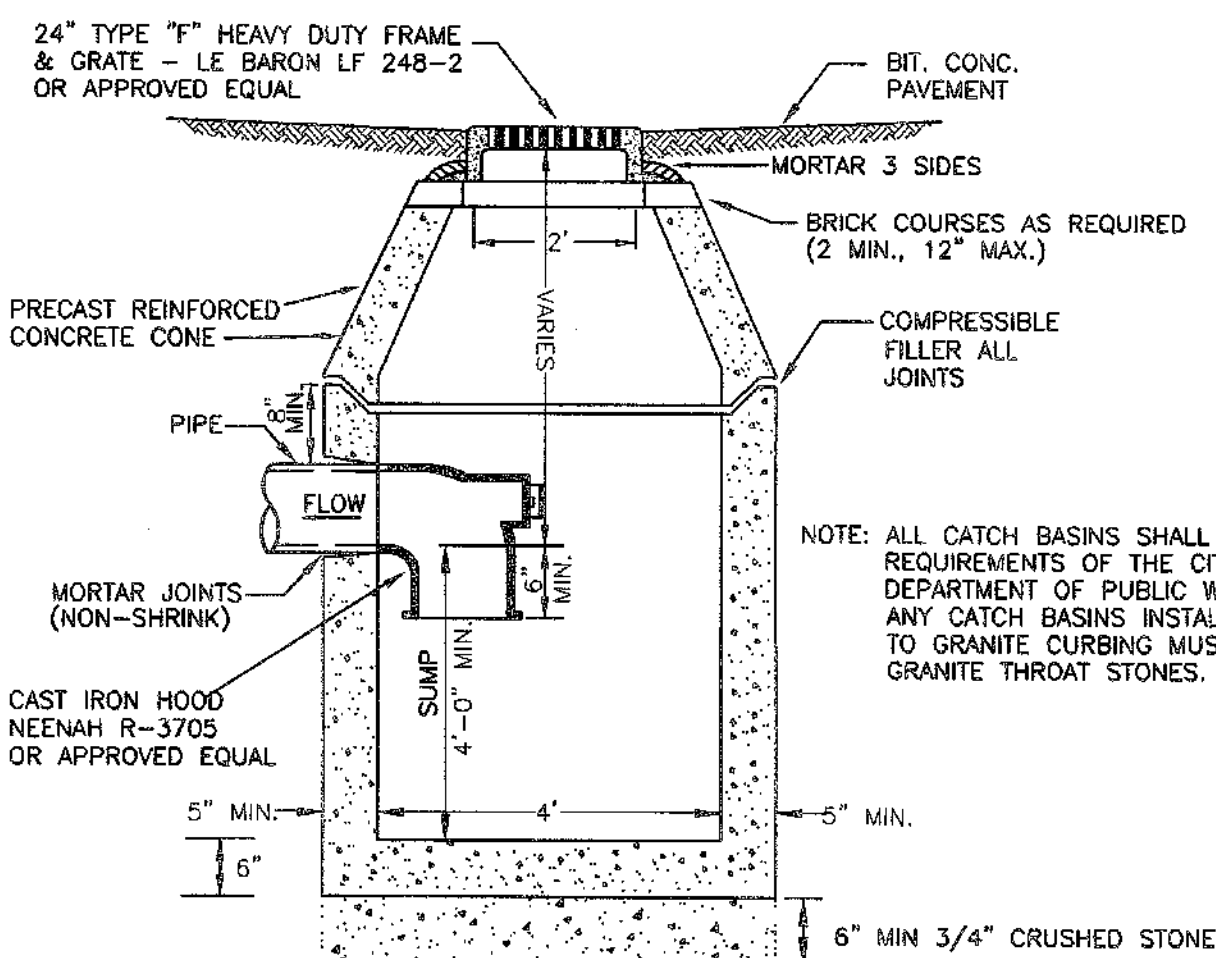
PREPARED BY:
EVERETT M. BROOKS COMPANY
49 LEXINGTON STREET
WEST NEWTON, MA 02465
(617) 527-6750

PROJECT NO. 26974

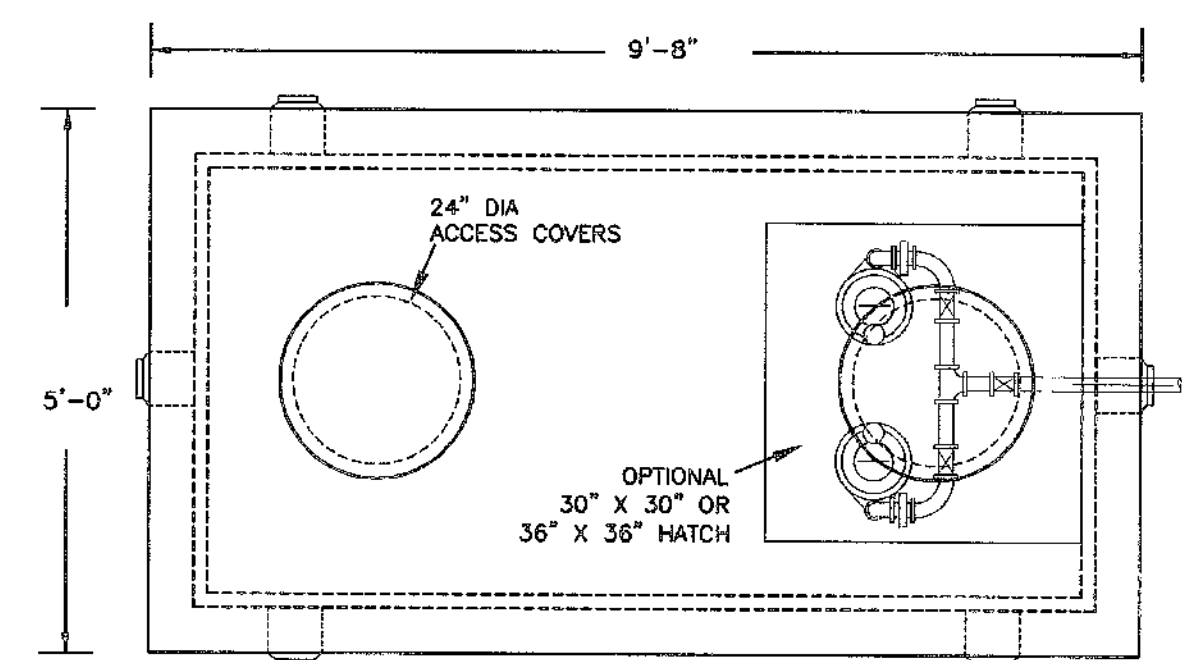


* SUITABILITY OF MATERIAL IS TO BE DETERMINED BY THE CITY OF NEWTON.
NOTE: TRENCHBOX OR SHEETING SHALL MEET OSHA STANDARDS.

TYPICAL C.D.F. TRENCH DETAIL
N.T.S.

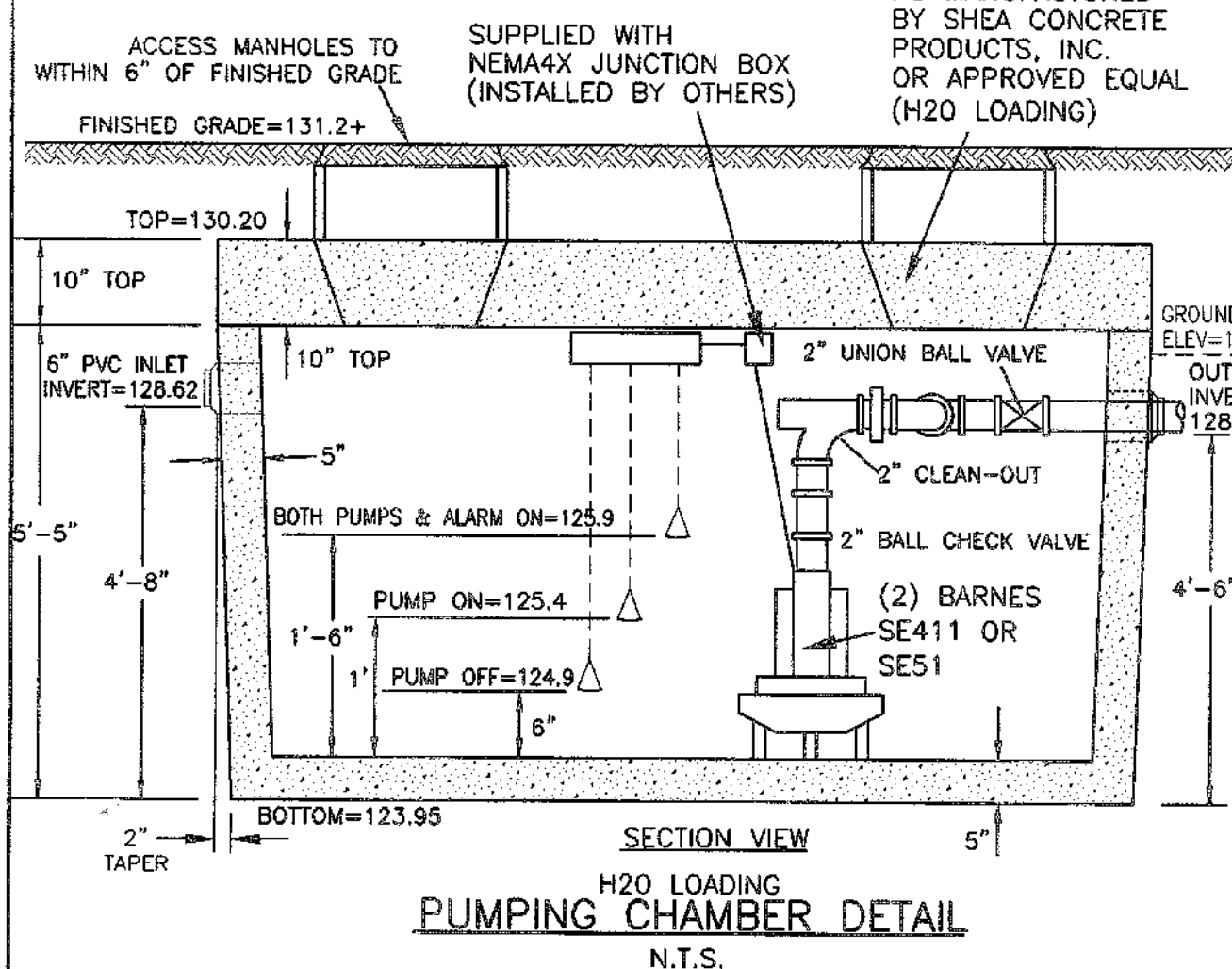


TYPICAL PRECAST CONCRETE CATCH BASIN
WITH GAS TRAP
N.T.S.



PLAN VIEW

1000 GALLON PRECAST PUMP CHAMBER PACKAGE AS MANUFACTURED BY SHEA CONCRETE PRODUCTS, INC. OR APPROVED EQUAL (H2O LOADING)



PUMPING CHAMBER DETAIL
N.T.S.

PUMP SYSTEM NOTES AND SPECIFICATIONS

General

Furnish and install a complete pumping system consisting of two submersible sewage pumps and motors, discharge piping and valves, mercury switch level controls, high water alarm, a duplex control panel, and a precast concrete pump chamber. All equipment shall be installed in accordance with the manufacturers specifications and recommendations and shall be warranted for at least one year. The contractor shall provide a sufficient quantity of clean water to conduct two pump operation tests. A backup portable generator shall be installed nearby and connected to the pump system.

Pump Chamber

The pump chamber shall be precast reinforced concrete structure. All concrete surfaces inside and outside, shall be waterproofed with two coats of tar based epoxy paint or other concrete sealant. Construction joints and openings shall be sealed with a hydraulic cement or otherwise made watertight. Use a 1,000 Gallon Pump Chamber Package as manufactured by EF Shea Concrete Products, Inc. or approved equivalent.

Pumps and Motors

Pumps and motors shall be heavy duty submersible sewage type ejectors with a 2 inch discharge and capable of passing 2 inch solids. Pump motors shall be fully submersible and shall operate at 1750 RPM with c 120 V, 60 cycle, single phase AC power source. (Note: Electrical contractors to verify available voltage at the pump control panel.)

Pumps shall be Barnes SE51 pump or approved equal.

Piping

Pump station discharge piping and fittings, and sewer force main shall be 2 inch SDR 35 PVC. Each discharge line shall include a 2 inch PVC swing type check valve for mounting in the vertical position and a 2 inch PVC full port ball valve.

Level Controls

For sealed float type mercury switches shall be supplied to control the sump level and alarm signal. Four float switches shall be used to control the sump level: one for pump 'off', one for pump 'on', and one for both pumps 'on'. A separate switch shall be provided with a power source separate from the pump power and shall be for the alarm unit. The float switch control shall be set to operate at the elevations indicated on the plan. The junction box for the switches shall be installed in a NEMA 4 enclosure above the maximum liquid level.

Control Panel

The panel shall be for alternating pump controls and shall be provided with an alternator, properly sized circuit breakers, magnetic contractors, hands off automatic switch and run light for each pump, and a transformer to give proper voltage to the control circuits.

The control panel shall be housed in a NEMA-1 control box for 115 V single phase operation. The panel shall be installed in a suitable location inside the housing.

Alarm
A high water alarm shall be supplied with both audible and visual alarms with a separate power supply from the pump. The alarm shall be mounted in a NEMA-1 enclosure separate from the control panel. An alarm silencer button shall be provided to silence the alarm while the visual alarm remains lighted until manually reset. The alarm shall be installed adjacent to the pump control panel.

BUOYANCY CALCULATION:

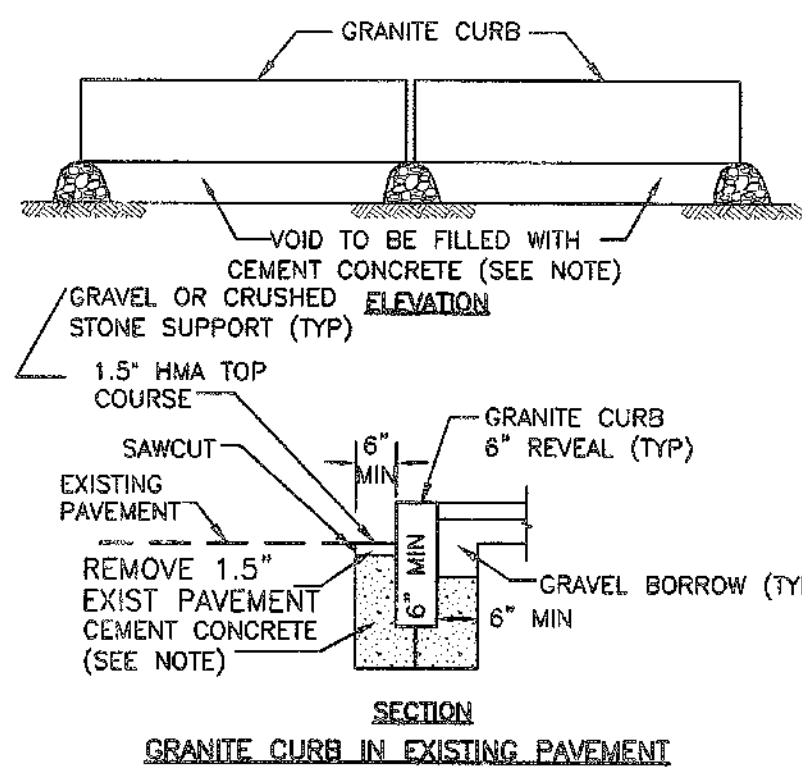
WEIGHT OF HANGERS
10\"/>

17,210 LBS > 14,204 LBS O.K.

* SUITABILITY OF MATERIAL IS TO BE DETERMINED BY THE CITY OF NEWTON.

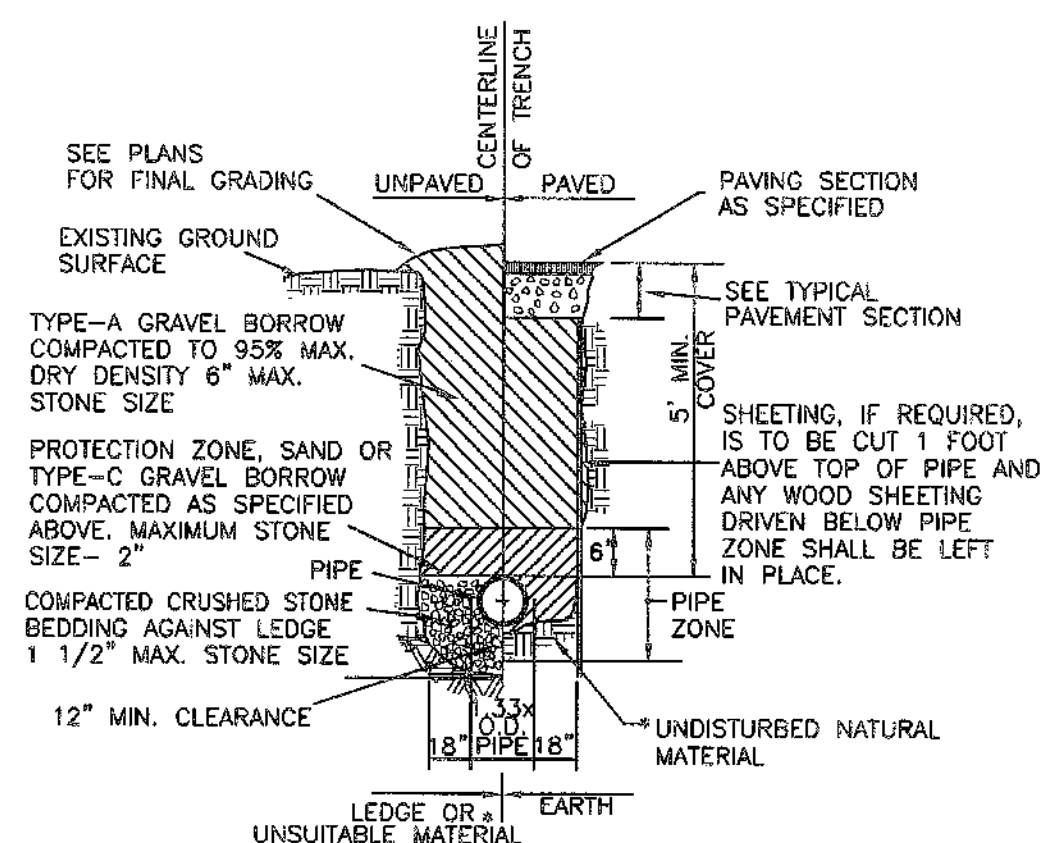
- GRAVEL BORROW SHALL CONFORM TO MASS HIGHWAY SPECIFICATION M1.03.0
- CRUSHED STONE BEDDING SHALL CONFORM TO MASS HIGHWAY SPECIFICATION M2.01.1

GRAVITY SEWER TRENCH DETAIL
N.T.S.



NOTES:
1. THIS PROCEDURE IS APPLICABLE ONLY IF CURB IS TO BE SET AFTER BASE COURSE IS IN PLACE PRIOR TO BINDER AND TOP PLACEMENT.
2. ANY DESIGNATED CEMENT CONCRETE THAT IS ACCEPTABLE UNDER SECTION M4 OF THE STANDARD SPECIFICATIONS MAY BE USED. ALL TEST REQUIREMENTS ARE WAIVED. HOT MIX ASPHALT SHALL NOT BE USED AS A SUBSTITUTE.

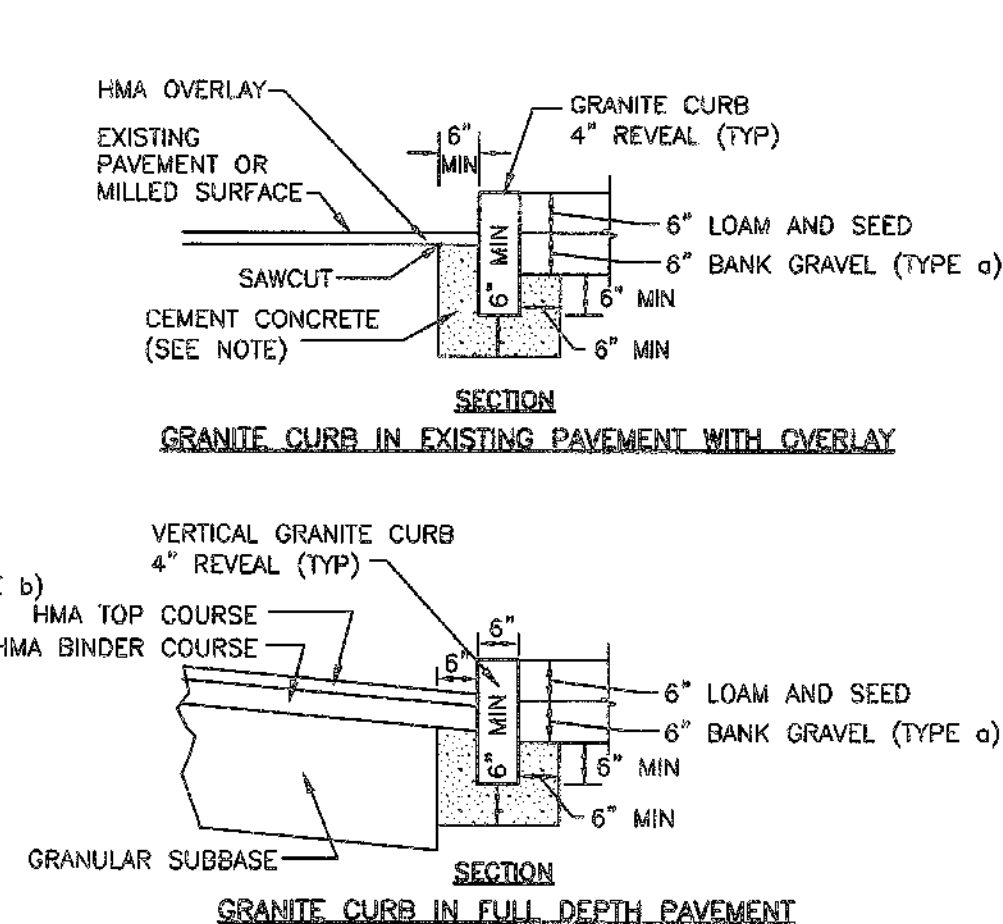
VERTICAL GRANITE CURB
N.T.S.



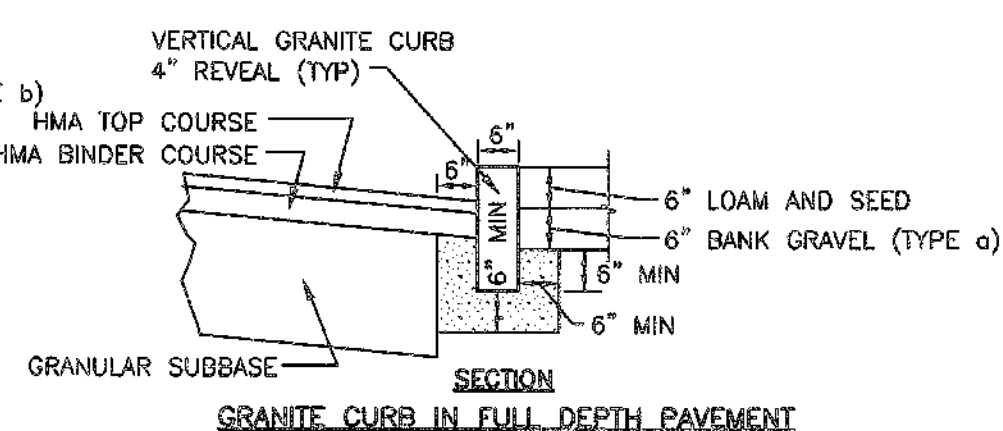
* SUITABILITY OF MATERIAL IS TO BE DETERMINED BY THE CITY OF NEWTON.

- GRAVEL BORROW SHALL CONFORM TO MASS HIGHWAY SPECIFICATION M1.03.0
- CRUSHED STONE BEDDING SHALL CONFORM TO MASS HIGHWAY SPECIFICATION M2.01.1

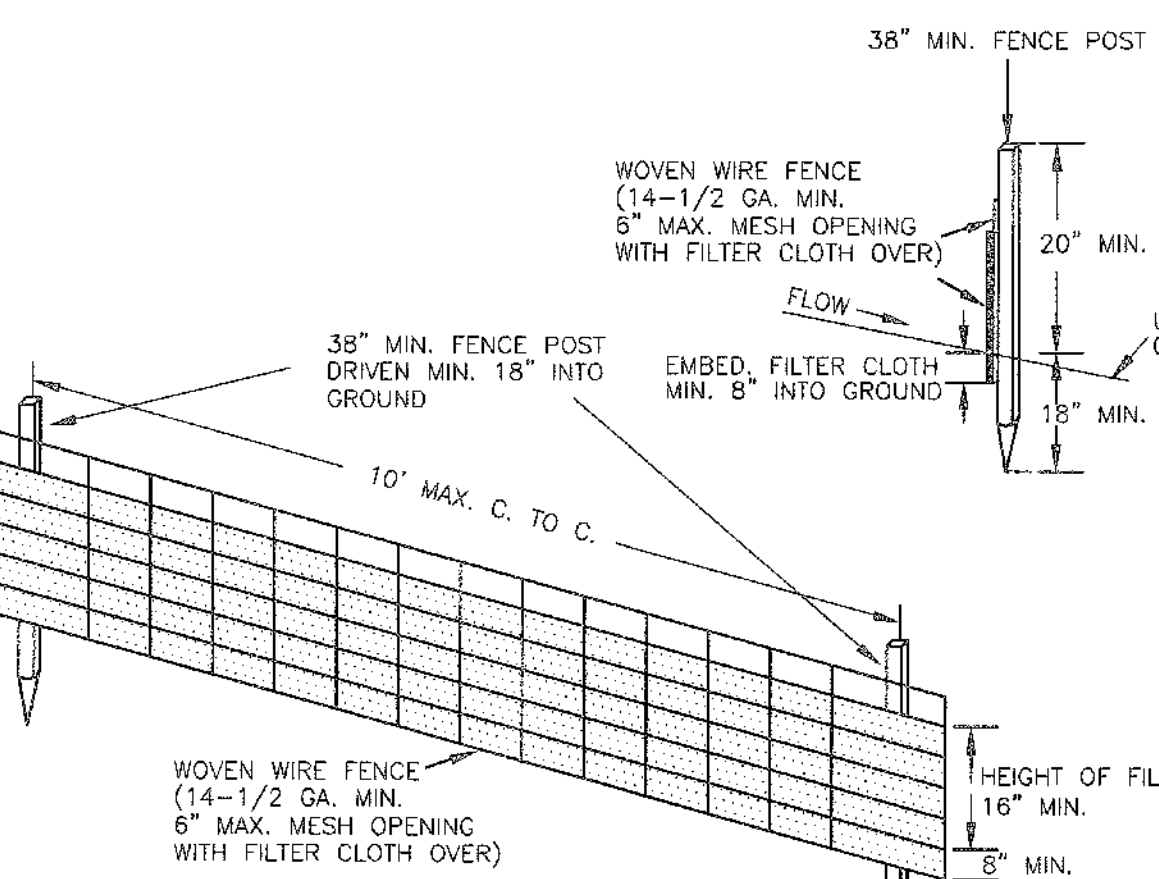
TYPICAL WATER TRENCH DETAIL
N.T.S.



SECTION
GRANITE CURB IN EXISTING PAVEMENT WITH OVERLAY



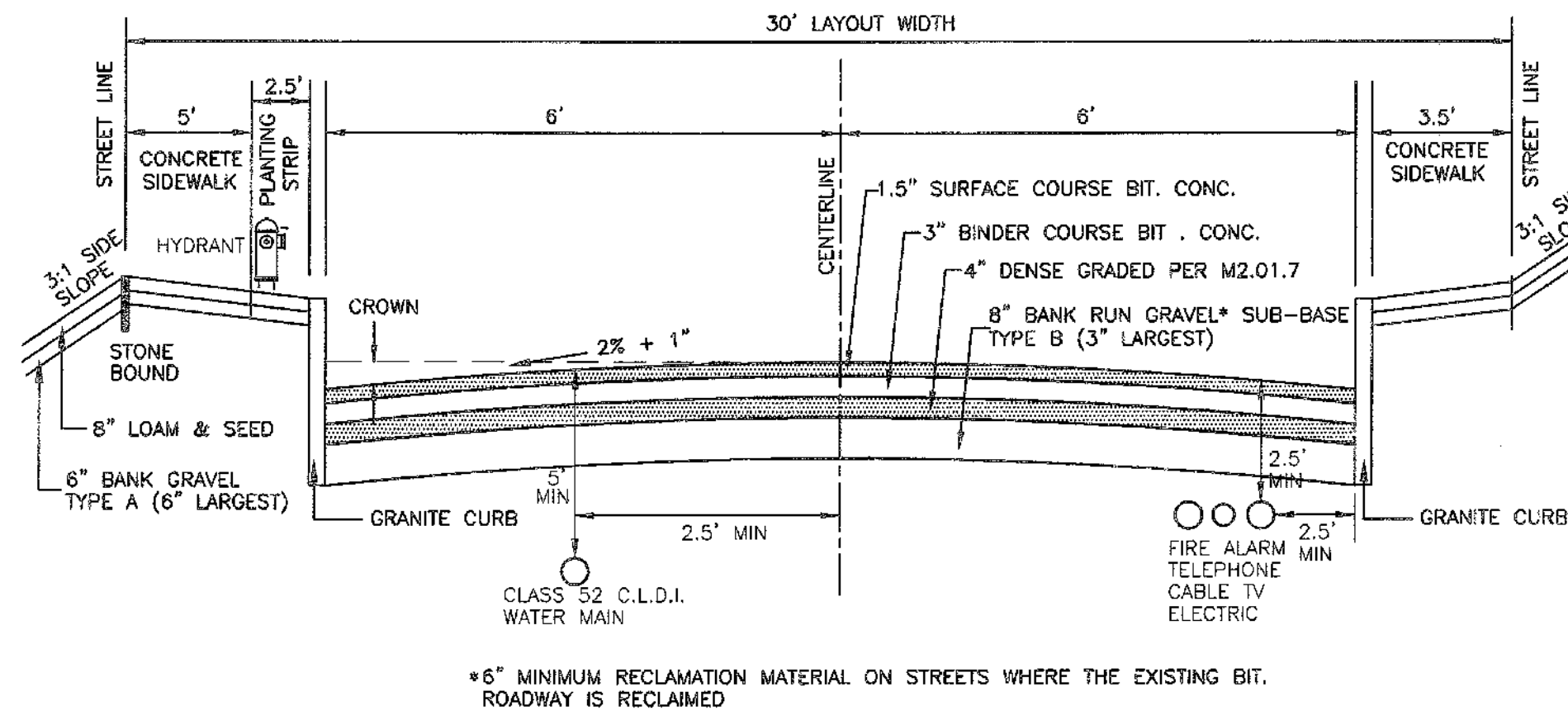
SECTION
GRANITE CURB IN FULL DEPTH PAVEMENT



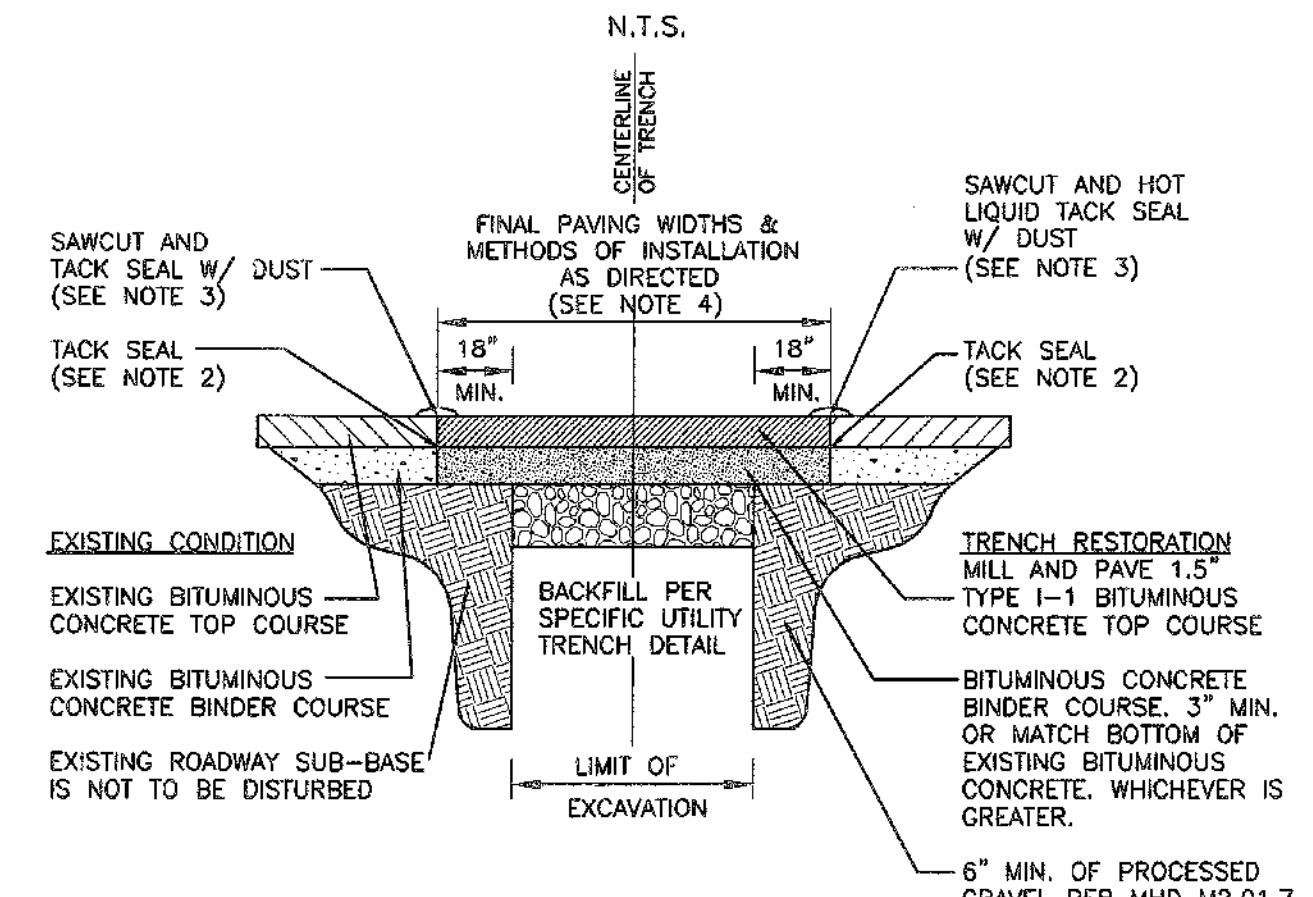
CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24\"/>

SILT FENCE DETAIL
N.T.S.

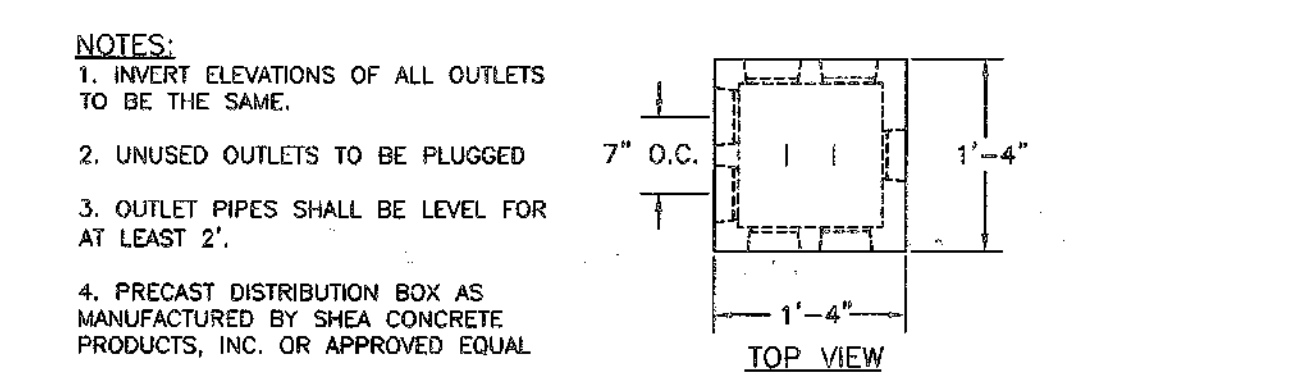


TYPICAL CROSS SECTION OF STREETS
N.T.S.

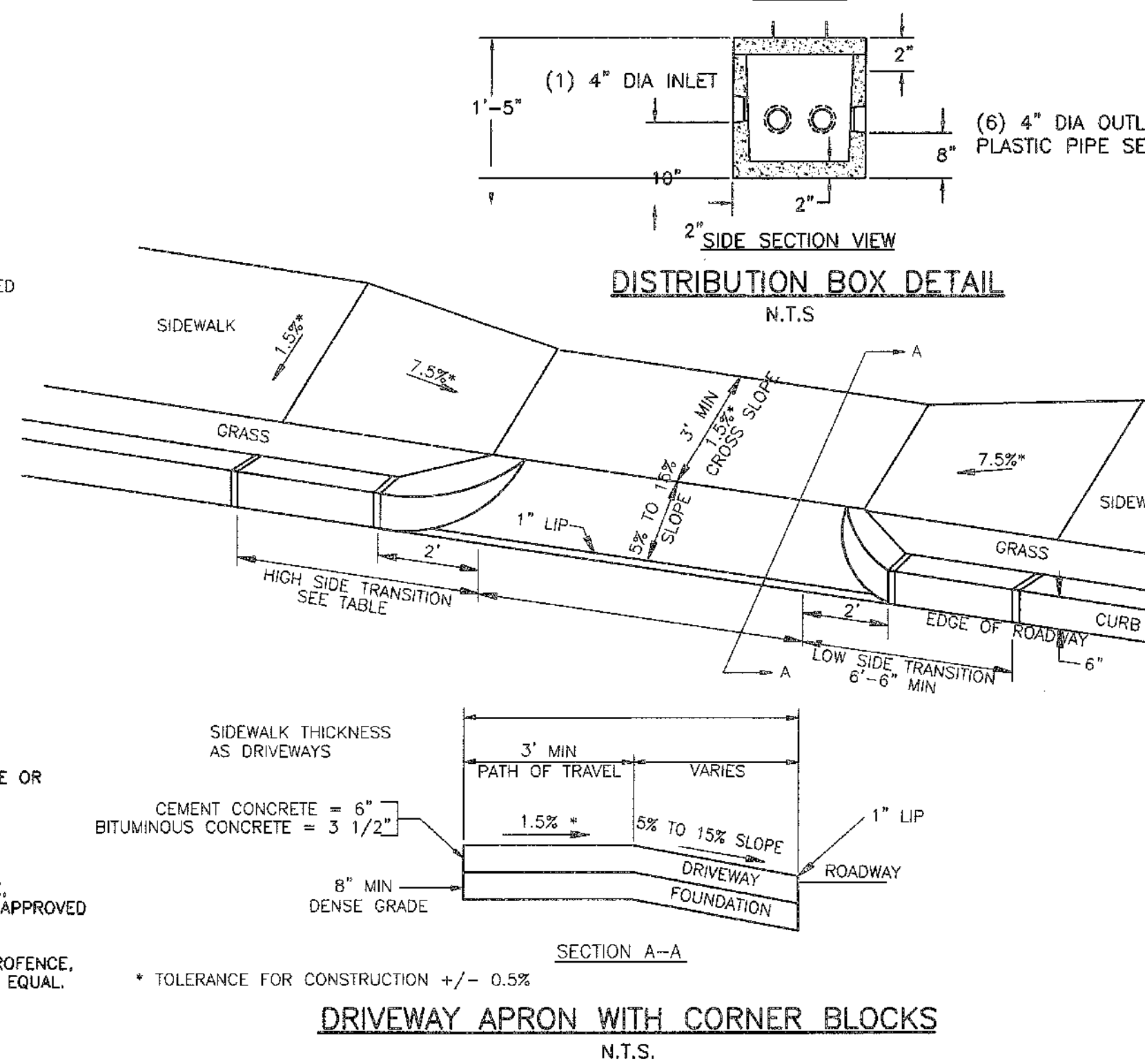


- NOTES:
- ALL INSTALLATION AND MATERIAL SPECIFICATIONS PER MASSDOT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, 2020 AS AMENDED.
 - ALL EXPOSED BITUMINOUS CONCRETE IS TO BE TACKED PER MASSDOT PRIOR TO NEW BITUMINOUS CONCRETE INSTALLATIONS.
 - ALL EXPOSED JOINTS ARE TO BE SEALED WITH HOT LIQUID TACK AND STONE DUST.
 - ANY TOP COURSE APPLIED AT A WIDTH OF 6\"/>

TYPICAL TRENCH REPAIR & PAVEMENT SECTION DETAIL
N.T.S.



DISTRIBUTION BOX DETAIL
N.T.S.



DRIVEWAY APRON WITH CORNER BLOCKS
N.T.S.

SUBDIVISION APPROVED SUBJECT TO CONDITIONS CONTAINED IN THE COVENANT AND THE DECISION DOCUMENT, BOTH RECORDED HEREWITH."

NEWTON PLANNING BOARD,

CHAIRMAN DATE

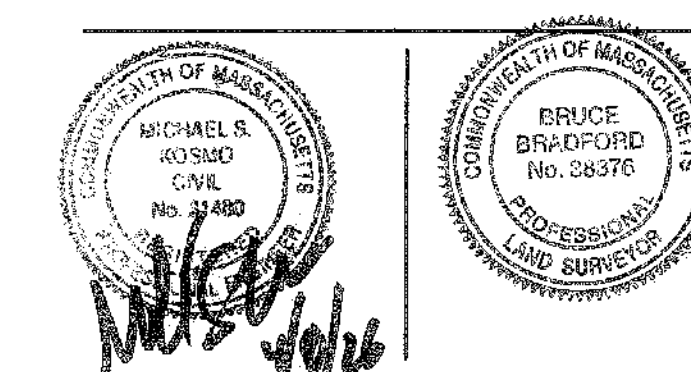
I HEREBY CERTIFY THAT NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF NOTICE FROM THE PLANNING BOARD OF THE APPROVAL OF THE WITHIN PLAN.

DATE

TOWN CLERK

I HEREBY CERTIFY THAT THE PREPARATION OF THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

Professional Land Surveyor
DATE



CHAPIN ROAD EXTENSION

DEFINITIVE SUBDIVISION PLAN
NEWTON, MA

STANDARD DETAILS

OWNER/ APPLICANT:
CHAPIN ROAD EXTENSION, LLC
19 FAIRMONT AVENUE
NEWTON, MA 02458

SCALE: AS NOTED DATE: APRIL 8, 2026

PREPARED BY:
EVERETT M. BROOKS COMPANY
49 LEXINGTON STREET
WEST NEWTON, MA 02465
(617) 527-8750

PROJECT NO. 26974